

MOD 4.55 APPLICATION
PROPOSED SECONDARY DWELLING

23 Telopea Street, Punchbowl NSW 2196 Lot 2 DP 203911

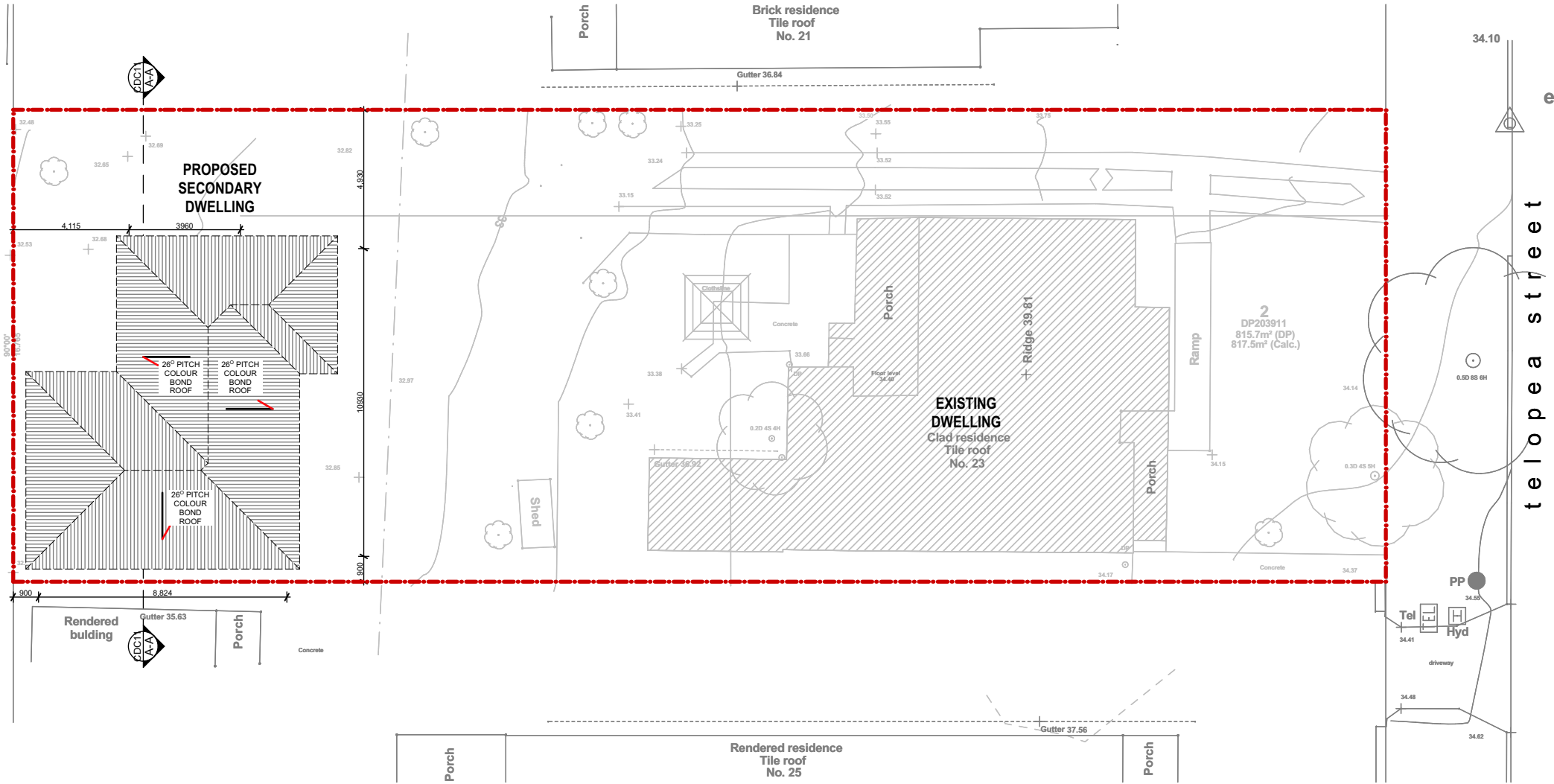


Subject Site

ID	DRAWING SCHEDULE	CURRENT REV.
01	COVER PAGE	P1 - WIP
02	GROUND FLOOR PLAN	P1 - WIP
03	ELEVATIONS & SECTIONS	P1 - WIP

PROPOSED MODIFICATIONS:

- EXTERNAL WALL FINISHES TO BE AS PER CONSTRUCTED BLUE CLADDING
- INCLUSION OF TOILET AND SHOWER WITHIN LAUNDRY
- ALL WINDOW SIZES HAVE BEEN MODIFIED TO SUIT MANUFACTURES SIZES
- REMOVAL OF APPROVED CARPORT NOT CONSTRUCTED.



01

Site / Roof Plan
1:200

ISSUE FOR APPROVAL

ISSUE	DESCRIPTION	DATE
A	ISSUE FOR APPROVAL	12/04/23

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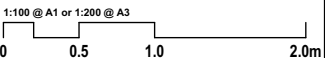
Nom. Architect Andre Mousso NSW Registered Architect 11743
NSW Design Practitioner - Architectural DEP2705



DRAWING TITLE

COVER PAGE
DRAWING NO
MOD 01

SCALE



NORTH



SECTION 4.55 MODIFICATION
Proposed Secondary Dwelling
23 Telopea Street, Punchbowl

JOB NO.	DATE	DRAWN	CHECKED	SCALE
23018_MOD	12/04/2023	P.G	A.M	As Shown on A1

GENERALLY

THESE NOTES AND ALL DETAIL DRAWINGS APPLY TO THE NOMINATED BUILDER AND ANY SUB CONTRACTORS EMPLOYED BY THE SAME, AND ANY CONTRACTORS SPECIFICALLY NOMINATED BY THE CLIENT.
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALE. ALL DIMENSIONS SHALL BE VERIFIED BY THE BUILDER AND ERRORS AND DISCRAPENCIES MUST BE CLARIFIED BY THE BUILDER TOGETHER WITH THE CLIENT &IOR DESIGNER BEFORE WORK COMMENCES.
THE BUILDER SHALL CLARIFY ANY DISCREPANCIES ON THE DRAWINGS WITH THE DESIGNER AND/OR THE CLIENT PRIOR TO MANUFACTURE AND/OR INSTALLATION.

APPROVED DRAWINGS

ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE APPROVED DRAWINGS PREPARED BY DESIGN LINK AUSTRALIA PTY LTD AND ANY RELEVANT CONSULTING ENGINEERS PLANS, DETAILS AND SPECIFICATIONS, AND COUNCILS REQUIREMENTS.
A COMPLETE SET OF APPROVED DRAWINGS, ENDORSED BY CENTRAL COAST COUNCIL SHALL BE KEPT ON SITE AT ALL TIMES.

REGULATORY REQUIREMENTS

THE BUILDER SHALL CONFIRM WITH ALL REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL COUNCIL'S REGULATIONS. THESE STANDARDS SUPERCEDE ALL DETAILS AND NOTES ON THE DRAWINGS WHERE APPLICABLE.

INSTALL SAFETY GLAZING IN EACH GLAZED DOOR OR PANAEL IN ACCORDANCE WITH THE BCA AND THE AUSTRALIAN STANDARDS AS1288/AS2047.

TREATMENT FOR THE PROTECTION OF THE BUILDING FROM SUBTERRANEAN TERMITES MUST BE CARRIED OUT IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS 3660.1-2000 "TERMITE MANAGEMENT - NEW BUILDING WORKS".

SHOULD THE TREATMENT FOR THE PROTECTION OF BUILDING DESCRIBED ABOVE BE BY THE WAY OF A CHEMICAL BARRIER, THEN IT BECOMES THE RESPONSIBILITY OF THE OWNER TO MAINTAIN A SUITABLE MAINTENANCE PROCEDURE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS, SUCH RESPONSIBILITY IS PLACED SOLELY UPON THE OWNER. AFTER TREATMENT THE FOLLOWING SHOULD BE CARRIED OUT:

- A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT LOCATION, INDICATING:
 - THE METHOD OF PROTECTION.
 - THE DATE OF INSTALLATION OF THE SYSTEM.
 - WHERE A CHEMICAL BARRIER IS USED, ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL.
 - THE INSTALLER OR MANUFACTURERS RECOMMENDATION FOR THE SCOPE AND FREQUENCY OF FUTURE INSPECTION FOR TERMITE ACTIVITY.
- PROVIDE THE PCA WITH A CERTIFICATE WHICH VERIFIES THAT TERMITE PROTECTION HAS BEEN PROVIDED IN ACCORDANCE WITH AS 3660.1-2000.

ALL THE MATERIALS USED MUST COMPLY WITH FIRE HAZARD PROPERTIES OF SPECIFICATION OF 'C1.10 OF THE BCA.
FRAMED PANEL OR DOORS ENCLOSING OR PARTIALLY ENCLOSING A SHOWER OR BATH SHALL BE GLAZED WITH 'A' OR 'B' GRADE SAFETY GLAZING MATERIAL IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1288-2006.

TENDERING

ALL TENDERS MUST VISIT THE SITE AND ASCERTAIN FOR THEMSELVES THE NATURE AND EXTENT OF THE WORK AND THE FACILITIES FOR CARRYING OUT THE SAME. THEY SHALL SATISFY THEMSELVES AS TO SITE CONDITIONS, ALLOWED WORKING HOURS, DIMENSIONS, POSITIONS OF SERVICES AND THE LIKE. THEY SHALL FAMILIARISE THEMSELVES WITH THE SPECIFIC REQUIREMENTS OF THE LESSOR, INCLUDING BUT NOT LIMITED TO, INSURANCES, ACCESS, MATERIAL DELIVERY AND STORAGE, RUBBISH REMOVAL AND THE LIKE, TENDERERS SHOULD NOT BE ABLE TO CLAIM EXTRAS UNFORSEEN THROUGH LACK OF HAVING TAKEN THESE PRECAUTIONS.

HOARDING AND PROTECTION OF THE SITE

THE BUILDER SHALL PROVIDE A HOARDING TO THE SITE WHEN DIRECTED BY THE CLIENT AND/OR THE LESSOR. THE HOARDING SHALL BE TO THE SPECIFICATION OF THE LESSOR.

THE BUILDER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL AREAS NOT INVOLVED IN THE CONSTRUCTION WORK AND ALL CARE SHALL BE TAKEN TO MINIMISE DUST AND DIRT TO THE SITE AND THE ADJOINING SITE, MALL AREAS AND THE LIKE. THE BUILDER IS RESPONSIBLE TO RECTIFY IMMEDIATELY ANY DAMAGES THAT OCCUR TO THE PROPERTY AND TO THE SURROUNDING AREA.

WORKMANSHIP GENERALLY

THE BUILDER SHALL LIAISON WITH THE CLIENT/LESSOR AS TO WHEN AND WHERE BUILDING DELIVERIES CAN TAKE PLACE AND WHERE THEY CAN BE POSITIONED IN RELATIONS TO THE SITE.

ALL WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE PLANS.

ANY CHANGES TO THE APPROVED PLANS ARE TO BE VERIFIED BY THE DESIGNER IN WRITING PRIOR TO MANUFACTURE, CONSTRUCTION AND/OR INSTALLATION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS AND THE SITE CONDITIONS ETC. THE BUILDER SHALL CONFIRM ANY REQUIRED CHANGES TO THE DESIGN WITH THE DESIGNER PRIOR TO MANUFACTURE AND/OR INSTALLATION.

ALL WORK SHALL BE CARRIED OUT BY LICENSED TRADESPEOPLE.

ANY PORTION OF THE WORK NOT SHOWN ON THE DRAWINGS, BUT WHICH IS NECESSARY FOR THE COMPLETION OF THE ENTIRE CONTRACTUALLY AGREED WORK, SHALL BE UNDERSTOOD AS INCLUDED.

ALL MATERIALS ARE TO BE OF NEW AND BEST QUALITY AND TO THE SPECIFICATION SHOWN ON THE PLANS UNLESS AGREED UPON BY THE DESIGNER/CLIENT IN WRITING.

ALL WORK SHALL BE UNDERTAKEN AND CARRIED OUT IN A WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH GOOD BUILDING PRACTICES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/S TO ENSURE THAT ALL SPECIFIED EQUIPMENT, FITTINGS ETC. (WHETHER SUPPLIED BY THE CONTRACTOR OR THE CLIENT) WILL FIT THE REQUIRED SPACE & TO REFER ANY DISCREPANCIES TO THE DESIGNER/CLIENT PRIOR TO MANUFACTURE/INSTALLATION.

WORKMANSHIP SPECIFICALLY

WET AREA

ALL WET AREAS TO KITCHENS,FOOD PREPARATION AREAS,BATHROOMS SHALL HAVE A WATERPROOF MEMBRANE APPLIED TO THE AREA. THE MEMBRANE SHALL CONTINUE TO A MINIMUM OF 300mm UP THE WALLS.

ALL SPECIFIED CABINETRY TO SHALL BE CONSTRUCTED OUT OF HIGH MOISTURE RESISTANT (HMR) SUBSTRATE BOARD.

SILICONE SEAL ALL JUNCTIONS TO BENCHTOPS, SPLASHBACKS AND THE LIKE.

WALLS TO WET AREAS AND/OR COMMERCIAL KITCHEN AREAS SHALL BE CONSTRUCTED OUT OF MASONRY AND RENDERED OR LINED WITH VILBOARD OR OTHER SIMILAR AS APPROPRIATE AND/OR AS SPECIFIED.

JOINERY GENERALLY

JOINERY SHALL BE OF THE HIGHEST QUALITY AND FINISH. CORNERS SHALL BE MITRED TO VISIBLE BULKHEADS,SHOPFRONT PORTALS ETC.

THE FITTINGS AND FIXTURES SHALL BE INSTALLED AS SPECIFIED ON THE PLANS.

BUILD ALL COMPONENTS SQUARE AND INSTALL PLUMB, USE MATERIALS IN SINGLE LENGTHS WHERE POSSIBLE, IF JOINTS ARE NECESSARY MAKE THEM OVER SUPPORTS.

WHERE 2 PAC FINISHES ARE SPECIFIED TO LARGE PANEL SIZES THE JOINTS ARE TO BE EXPRESSED IN THE FORM OF A 'V' GROOVE JOINT OR OTHER AS SPECIFIED ON THE DRAWINGS. ALL JOINTS ARE TO BE EQUALLY SPACED UNLESS NOTED OTHERWISE.

USE FASTENERS TO TRANSMIT THE LOADS IMPOSED AND TO ENSURE THE RIGIDITY OF THE ASSEMBLY WITHOUT SPLITTING OR OTHERWISE DAMAGING THE SHEETS. DO NOT USE VISIBLE FIXINGS EXCEPT IN THE FOLLOWING LOCATIONS.

-INSIDE CUPBOARDS AND DRAWER UNITS, (IN WHICH CASE USE PROPRIETARY CAPS TO CONCEAL FIXINGS) UNLESS SPECIFICALLY NOTED OTHERWISE.

USE ADHESIVES TO TRANSMIT THE LOADS IMPOSED AND TO ENSURE THE RIGIDITY OF THE ASSEMBLY, WITHOUT CAUSING DISCOLORATION OF THE FINISHED SURFACES.

SCRIBE BENCHTOPS,SPLASHBACKS, ENDS OF CUPBOARDS, KICKBOARDS AND RETURNS TO FOLLOW THE LINE OF THE STRUCTURE.

FINISH ALL EXPOSED EDGES OF SHEETS WITH EDGE STRIPS TO MATCHSHEET FACES.

CUPBOARD SHELF AND DRAWER UNITS ARE TO BE CONSTRUCTED OUT OF THE SPECIFIED MELAMINE COLOURBOARD. SCRIBE TO FLOOR AND SECURE TO WALL TO PROVIDE A LEVEL FINISH.

SUPPORT ADJUSTABLE SHELVES ON PROPRIETARY PINS IN HOLES BORED AT 32mm CENTRES VERTICALLY.

PROVIDE ADJUSTABLE CONCEALED METAL HINGES TO CUPBOARD DOORS, METAL RUNNERS AND PLASTIC ROLLERS FOR THE DRAWERS WITH A MINIMUM 30KG CAPACITY (OR AS REQUIRED FOR THE USAGE), CLOSURE RETENTION AND WHITE THERMOSET POWDER COATING.

SEAL JUNCTION OF SINK TO BENCH TOP AND WALL TILING TO BENCH TOP WITH AN APPROVED SEALANT.

STRUCTURAL DESIGN AND CERTIFICATION

THE BUILDER SHALL ENSURE THAT ALL ITEMS DETAILED, SPECIFIED & INSTALLED ARE SUITABLE FOR THE PURPOSE THEY ARE INTENDED FOR AND ARE

STRUCTURALLY ADEQUATE TO SUPPORT THE USAGE & LOADS.

ALL STRUCTURAL ELEMENTS, BULKHEADS, GLAZING SUPPORTS AND THE LIKE SHALL BE DESIGNED AND CONSTRUCTED TO SUPPORT THEIR OWN WEIGHT AND THE LOADS IMPOSED. ON COMPLETION THE BUILDER SHALL PROVIDE A STRUCTURAL ENGINEERING CERTIFICATE FOR THESE ELEMENTS.

RUBBISH REMOVAL

THE BUILDER SHALL PERIODICALLY CLEAN UP THE PROPERTY AND REMOVE THE DEBRIS FROM THE SITE. ALL RUBBISH SKIPS AND THE LIKE ARE TO BE POSITIONED IN ACCORDANCE WITH THE LESSORS AND/OR COUNCILS REQUIREMENTS. RUBBISH SHALL NOT INTERFERE WITH THE AMENITY OF THE ADJOINING PROPERTIES.

COMPLETION

ON COMPLETION OF THE WORK, THE BUILDER SHALL CARRY OUT A FINAL CLEAN UP TO THE SATISFACTION OF THE CLIENT, ALL DEBRIS SHALL BE STORED ON THE SITE AND DISPOSED OF AS SOON AS POSSIBLE. THE BUILDER IS TO CHECK ALL NEWLY INSTALLED DOORS FOR SAFE AND EASY HANDLING, THE GLASS IS TO BE CLEANED AND THE SEALS CHECKED, AT COMPLETION OF THE WORK THE WHOLE SITE INCLUDING AREAS NOT INVOLVED IN THE WORK ARE TO BE COMPLETELY CLEANED. DAMAGED PAINT WORK TO BE RE-DONE OR TOUCHED UP USING PAINT FROM THE SAME BATCH AS THE ORIGINAL WORK.

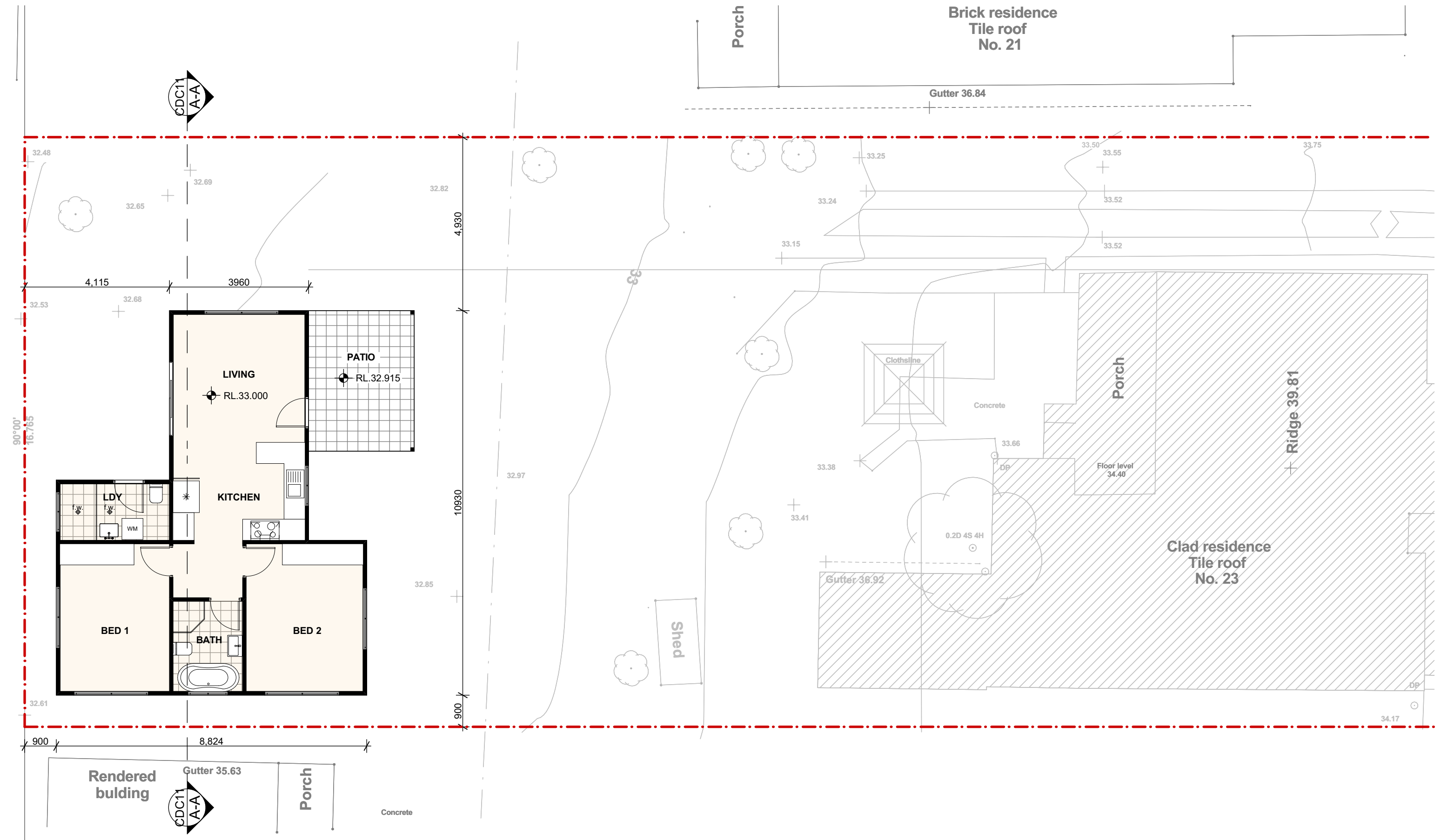
ALL RELEVANT CERTIFICATES FOR STRUCTURAL ELEMENTS, BULKHEADS, WATERPROOFING, PLUMBING, ESSENTIAL & EMERGENCY SERVICES ETC. SHALL BE SUPPLIED TO CLIENT AT HANDOVER OF THE COMPLETED SHOP.

THE BUILDER SHALL ENSURE THAT THE RELEVANT CERTIFYING AUTHORITY IS NOTIFIED OF THE COMPLETION AND ARRANGE FOR THE FINAL INSPECTION AT LEAST TWO DAYS PRIOR TO PRACTICAL COMPLETION. THE BUILDER SHALL RECTIFY IMMEDIATELY ANY DEFECTS NOTED BY THE INSPECTOR WHICH PREVENT THE ISSUE OF AN OCCUPATION CERTIFICATE.

THE BUILDER SHALL INFORM THE DESIGNER OF THE PRATICAL COMPLETION OF THE PROJECT AT LEAST TWO DAYS PRIOR TO COMPLETION, ON COMPLETION A DEFECT INSPECTION WILL BE UNDERTAKEN BY THE CLIENTS REPRESENTATIVE AND ALL DEFECTS SHALL BE RECTIFIED PRIOR TO THE FINAL PAYMENT BEING RELEASED.

THE BUILDER SHALL PROVIDE COPIES OF CERTIFICATES, WARRANTIES, GUARANTEES, MANUALS ETC. FOR ITEMS INSTALLED ON THE SITE.

THE BUILDER SHALL PROVIDE TO THE CLIENT KEYS OF ALL LOCKABLE DOORS, CUPBOARDS AND THE LIKE.



01 Ground Floor Plan
1:100

ISSUE FOR APPROVAL

ISSUE	DESCRIPTION	DATE
A	ISSUE FOR APPROVAL	12/04/23

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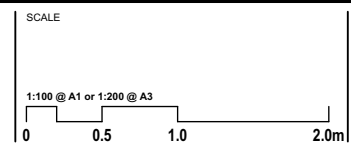


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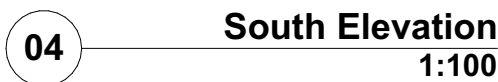
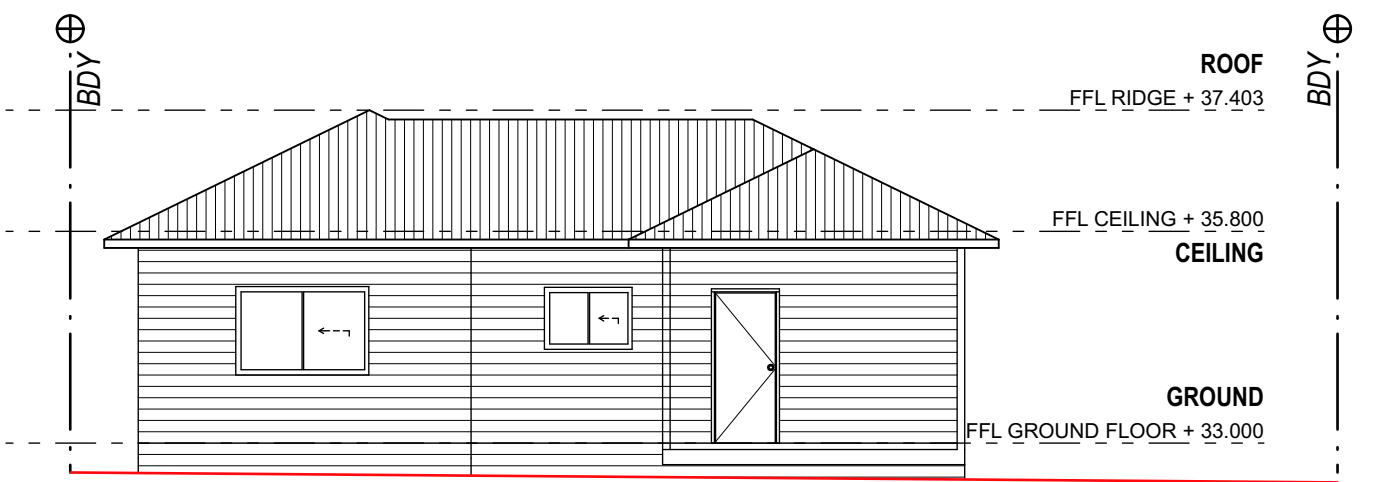
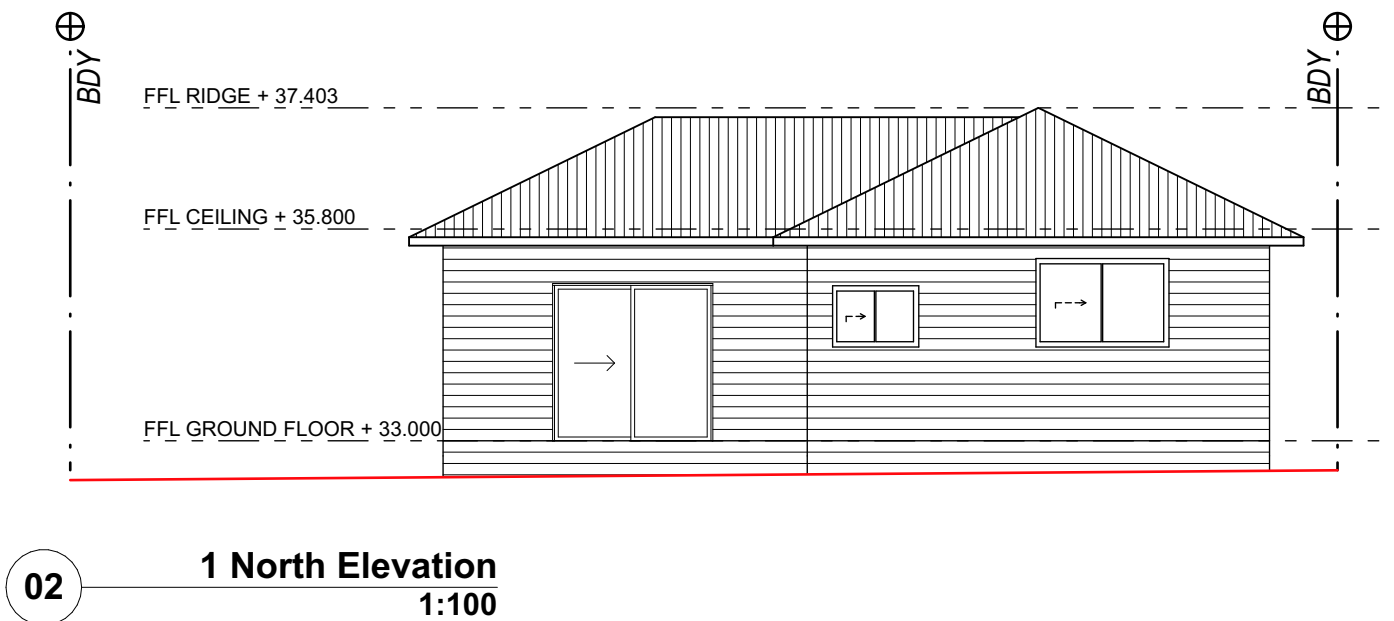
GROUND FLOOR PLAN

DRAWING NO

MOD 02



SECTION 4.55 MODIFICATION			
Proposed Secondary Dwelling			
23 Telopea Street, Punchbowl			
JOB NO. 23018_MOD	DATE 12/04/2023	DRAWN P.G	CHECKED A.M
SCALE As Shown on A1			



SCHEDULE OF EXTERNAL FINISHES & MATERIALS
JAMES HARDIE STRIA CLADDING OR SIMILAR

ISSUE	DESCRIPTION	DATE
A	ISSUE FOR APPROVAL	12/04/23

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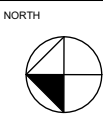


DRAWING TITLE

ELEVATIONS & SECTIONS

DRAWING NO

MOD 03



SECTION 4.55 MODIFICATION
Proposed Secondary Dwelling
 23 Teloepa Street, Punchbowl

JOB NO. 23018_MOD	DATE 12/04/2023	DRAWN P.G	CHECKED A.M	SCALE As Shown on A1
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